

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

Project:

**Covington Court, 2nd Plat
Olathe, Johnson County, KS**

Date: October 21, 2016

Prepared for the Owner & Developer:

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I. NARRATIVE

a. Regulatory Background

The Kansas Department of Health and Environment (KDHE), Bureau of Water, Industrial Section has established a program to protect waters of the State of Kansas from construction site storm water runoff. The storm water program requires owners (the permittee) of projects, who engage in construction activities disturbing one (1) or more acres to have authorization (permitted) to discharge storm water runoff under the State construction storm water general permit. Owners must submit a Notice of Intent (NOI) to comply with the general permit at least sixty (60) days before starting construction. Owners must receive a permit from KDHE prior to commencing any land disturbance activity.

Owners may elect to authorize (in writing) an officer of their contractor to obtain and maintain the permit.

The primary requirement of KDHE's general construction storm water permit is for the permittee to develop and implement a Storm Water Pollution Prevention Plan (SWPPP). The purpose of this "Storm Water Pollution Prevention Plan" (SWPPP) is to provide design, implementation, and maintenance of "Best Management Practices" (BMPs) for the project site. The SWPPP includes, but is not limited to, this document, the Erosion and Sedimentation Control Plan included in the construction drawings with the Detail Sheets, site landscaping plans, the Notice of Intent, Co-Permittee or Transfer forms, Permit Authorization, General Permit, Notice of Termination (NOT), all records of inspections and activities which are created during the course of the project, and other documents as may be included by reference to this SWPPP. Changes, modifications, revisions, additions, or deletions shall become part of this SWPPP as they occur.

Public Posting (Including SWPPP Information Sign)

Install the SWPPP Information Sign per specification and post Site Maps and Details Sheets on the jobsite trailer wall (or other Owner agreed upon location) before beginning BMP installation. The following information must be posted near the construction exit in a prominent place for public viewing until termination of permit coverage has been obtained by filing the NOT: 1) Notice of Intent; 2) Permit Authorization; and 3) The location of the SWPPP on site. Reference the Entrance Sign (SWPPP Information Sign) detail for proper posting of documents.

Retention of Records

A complete copy of the SWPPP, including copies of all inspection reports, plan revisions, etc., shall be kept at the project site (or at the location as specified on the NOI if not at the project site) during the duration of the project (until NOT is filed) and kept in the permanent project records of the General Contractor for at

least three years following submission of the NOT. The SWPPP shall be made available during inspections.

Contractor/Sub-Contractor List

The General Contractor must provide names and addresses of all subcontractors working on this project who will be involved with the major construction activities that disturb site soil or otherwise affect BMP implementation. This information shall be kept in the SWPPP Binder.

Contractor/Sub-Contractor Certification Form

The General Contractor and all contractors and/or subcontractors that will implement, maintain and/or impact the pollution control measures in the SWPPP and/or are involved in ground-disturbing activities on the site must sign a copy of the Contractor certification included in the Appendix. An authorized representative from each company on the construction project must sign this form certifying that company representatives understand the General Permit authorizing storm water discharges during construction. This information shall be kept in the SWPPP Binder.

Additional Requirements:

This SWPPP was developed to fulfill construction storm water permit requirements for the Covington Court, Second Plat project. Ultimately, it is the responsibility of the permittee or his general contractor (if so designated) to assure the adequacy of site pollutant discharge controls. Actual physical site conditions or contractor practices could make it necessary to install more structural controls than are shown on the plans. (For example, localized concentrations of runoff could make it necessary to install additional sediment barriers.) Assessing the need for additional controls and implementing them or adjusting existing controls will be a continuing aspect of this SWPPP until the site achieves final stabilization.

b. Site Location and Existing Conditions

This is an 18.8 acre site located at the intersection of 115th Street and Sunnybrook Boulevard in Olathe, Johnson County, Kansas. The property parcel number is DP72910000 0006P. The site is located in the East ½ of Section 15, Township 13 South, Range 23 East. The legal description for the site is:

Description

Resurvey and replat of part of the Lot 6 and Lot 7, SUNNYBROOK, a platted subdivision of land in the City of Olathe, Johnson County, Kansas, being more particularly described as follows:

Commencing at the Northeast corner of said Lot 7; thence S 87°37'11" W, along the North line of said Lot 7 and the Easterly line of said Lot 6, a distance of 626.04 feet to the point of beginning; thence S 33°41'24" W, a distance of 77.66 feet; thence S 47°08'53" W, a distance of 211.60 feet; thence S 57°26'17" W, a distance of 192.14 feet; thence S 51°33'57" W, a distance of 72.71 feet; thence S 35°57'30" W, a distance of 69.39 feet to the Northeast plat corner of

COVINGTON COURT, a platted subdivision of land in the City of Olathe, Johnson County, Kansas; thence along the Northerly plat line of said COVINGTON COURT, for the following four (4) courses; thence N 51°10'19" W, a distance of 41.27 feet; thence N 60°38'25" W, a distance of 134.55 feet; thence Northeasterly on a curve to the right, said curve having an initial tangent bearing of N 29°21'35" E and a radius of 425.00 feet, an arc distance of 7.58 feet; thence N 59°37'04" W, a distance of 216.94 feet to the Northwest plat corner of said COVINGTON COURT, said point also being on the Easterly plat line of COVINGTON CREEK, SECOND PLAT, a platted subdivision of land in the City of Olathe, Johnson County, Kansas; thence along the Easterly plat line of said COVINGTON CREEK, SECOND PLAT, for the following two (2) courses; thence N 27°27'27" E, a distance of 105.80 feet; thence Northerly on a curve to the left, said curve being tangent to the last described course and having a radius of 830.00 feet, an arc distance of 616.73 feet to the Northerly most corner of said COVINGTON CREEK, SECOND PLAT; thence N 42°14'41" E, a distance of 613.62 feet to a point on the Southerly plat line of SUNNYBROOK, 2ND PLAT, a platted subdivision of land in the City of Olathe, Johnson County, Kansas; thence along the Southerly plat line of said SUNNYBROOK, 2ND PLAT, for the following five (5) courses; thence S 36°36'00" E, a distance of 59.56 feet; thence Southeasterly on a curve to the left, said curve being tangent to the last described course and having a radius of 1030.00 feet, an arc distance of 151.01 feet; thence S 45°00'00" E, a distance of 112.49 feet; thence Southeasterly on a curve to the right, said curve being tangent to the last described course and having a radius of 270.00 feet, an arc distance of 61.84 feet; thence N 58°07'25" E, a distance of 60.00 feet to an angle point on the Southerly plat line of SUNNYBROOK BUSINESS PARK, 1ST PLAT, a platted subdivision of land in the City of Olathe, Johnson County, Kansas; thence S 31°52'35" E, a distance of 201.31 feet; thence Southeasterly on a curve to the left, said curve being tangent to the last described course and having a radius of 270.00 feet, an arc distance of 278.45 feet; thence N 89°02'02" E, a distance of 232.93 feet to a point on the East line of said Lot 6, said point also being on the Westerly right-of-way line of Lone Elm Road, as now established; thence S 2°12'35" E, along the East line of said Lot 6 and the Westerly right-of-way line of said Lone Elm Road, a distance of 90.02 feet; thence S 89°02'02" W, a distance of 177.28 feet; thence Westerly on a curve to the right, said curve being tangent to the last described course and having a radius of 400.00 feet, an arc distance of 158.19 feet; thence S 21°41'37" W, a distance of 51.00 feet; thence S 48°04'23" W, a distance of 265.51 feet; thence S 33°41'24" W, a distance of 120.24 feet to the point of beginning, containing 18.8055 acres, more or less, of replatted land.

Existing site conditions are undeveloped ground previously used for agriculture. Drainage on the site flows west to a tributary arm of Little Cedar Creek. Soils onsite are primarily Grundy silt loam, with 1 to 3 percent slopes, and Oska-Martin complex, with 4 to 8 percent slopes. There is also a minimal amount of Kennebec silt loam (1 percent slopes) and Chillicothe silt loam (2 to 5 percent slopes) onsite.

c. Proposed Construction and Land Disturbance Activities

Proposed construction activities include mass grading of the entire site, installation of storm sewer, sanitary sewer, and other utilities. Storm water onsite will be conveyed through curb and gutter and storm sewer. Where storm sewers discharge to a receiving waterway, riprap shall be placed at the outlet to dissipate flow and reduce velocity. The site will be re-seeded and landscaped upon completion of the finish grading. All seeded and planted areas will be inspected

for bare spots, washouts, and healthy growth. The remainder of site shall have paving and buildings stabilizing exposed ground.

d. Work Schedule/Project Phasing

Construction activities will commence in the fall of 2016 with an estimated completion date of spring of 2017. Onsite working hours will be from Monday thru Saturday from 7:00 A.M. to 7:00 P.M. The project will be phased in the following manner to limit the amount and duration of exposed soils:

1. Sanitary Sewer Installation
2. Mass Grading
3. Storm Sewer Installation
4. Street Pavement Installation
5. Utility Installation

e. Potential Storm Water Contaminants

Pollutants that result from clearing, grading, excavation, and building materials and have the potential to be present in storm water runoff are listed in Table 1. This table includes information regarding the material type, chemical and physical description, and the specific storm water pollutants associated with each material.

Table 1
Potential Construction Site Storm Water Pollutants

Trade Name Material	Chemical/Physical Description⁽¹⁾	Storm Water Pollutants⁽¹⁾
Pesticides (insecticides, fungicides, herbicides, rodenticides)	Various colored to colorless liquid, powder, pellets, or grains	Chlorinated hydrocarbons, organophosphates, carbamates, arsenic
Fertilizer	Liquid or solid grains	Nitrogen, phosphorous
Plaster	White granules or powder	Calcium sulphate, calcium carbonate, sulfuric acid
Cleaning solvents	Colorless, blue, or yellow-green liquid	Perchloroethylene, methylene chloride, trichloroethylene, petroleum distillates
Asphalt	Black solid	Oil, petroleum distillates
Concrete	White solid	Limestone, sand
Glue, adhesives	White or yellow liquid	Polymers, epoxies
Paints	Various colored liquid	Metal oxides, Stoddard solvent, talc, calcium carbonate, arsenic
Curing compounds	Creamy white liquid	Naphtha
Wastewater from	Water	Soil, oil & grease, solids

Trade Name Material	Chemical/Physical Description ⁽¹⁾	Storm Water Pollutants ⁽¹⁾
construction equipment washing		
Sanitary wastes/sewage	Water, fecal matter	Bacteria, ammonia, nutrients
Wood preservatives	Clear amber or dark brown liquid	Stoddard solvent, petroleum distillates, arsenic, copper, chromium
Hydraulic oil/fluids	Brown oily petroleum hydrocarbon	Mineral oil
Gasoline	Colorless, pale brown or pink petroleum hydrocarbon	Benzene, ethyl benzene, toluene, xylene, MTBE
Diesel fuel	Clear, blue-green to yellow liquid	Petroleum distillate, oil & grease, naphthalene, xylenes
Kerosene	Pale yellow liquid petroleum hydrocarbon	Coal oil, petroleum distillates
Antifreeze/coolant	Clear green/yellow liquid	Ethylene glycol, propylene glycol, heavy metals (copper, lead, zinc)
Erosion	Solid Particles	Soil, sediment

⁽¹⁾Data obtained from MSDSs when available

Non-storm water discharges that are expected from the site during the construction period:

- Water from waterline flushing
- Uncontaminated groundwater (from excavation)
- Irrigation water

f. Storm Water Controls/Best Management Practices (BMPs)

The primary potential sources of storm water contamination for this project include erosion and construction material spillage.

Erosion and Sediment Control

Soil stabilization and structural controls will be the primary methods of erosion control used on-site to control run-off velocity and protect soil particles from precipitation. Soil stabilization is defined as using in place existing vegetation, or by providing temporary/permanent seeding, parking lots or buildings to stabilize the ground. Structural controls shall consist of temporary and permanent site improvements such as storm sewer piping and inlets and silt fence, rock check dams, diversion berms, and gravel entrances. The following BMPs will be implemented:

- Silt fence or mulch berms will be placed along the perimeter of the area to be cleared and graded before any clearing or grading occurs.
- Single row silt fence will be used at the downhill side of the site perimeter.
- All ruts caused by equipment will be graded.
- Within 14 days of clearing and grading, areas not immediately affected by construction activities will be seeded and mulched with straw. The straw mulch is to be tacked into place by a cultipacker or disk.
- Soil stockpiles will be stabilized with temporary seed and mulch no later than 14 days from the last construction activity in that area.
- Rock checks will be applied to steep slopes and drainage ways to control gully and rill erosion.
- Silt dikes, berms, or other appropriate products best suited for the phase of construction will be placed to protect all storm sewer inlets on or near the site.
- Construction entrances shall be provided for off-site vehicles leaving graded areas and entering paved streets. Sufficiently long graveled surfaces shall be provided to reduce the amount of sediment being transported onto pavement. Graveled areas shall also be provided for contractor staging and material storage areas. Paved areas will be cleaned daily to remove any excess mud, dirt or rock.
- Dump trucks hauling material from the construction site will be covered with a tarpaulin.
- Paved streets outside the construction area will be swept to remove excess mud, dirt, or rock tracked from the site.
- Gravel bags, gutter buddies, or other approved inlet protection methods as shown on the plans shall be used to prevent sediment from entering storm water inlets.

Erosion control BMPs, locations and design specifications are included in the Drawings (see Erosion and Sediment Control Plan).

Construction Materials

To prevent construction materials from washing into receiving water bodies, or the undisturbed areas of the site, the following BMPs will be implemented.

- Building sites will be regularly policed and solid waste will be removed at regular intervals. All waste materials will be collected and stored in a securely lidded metal dumpster. All trash and construction debris from the site will be deposited in the dumpster. The dumpster will be emptied when full or weekly, whichever comes first.

- On site burning will only be allowed if specifically permitted by local jurisdictional authority. Any on site burning must comply with state and county requirements also.
- All sanitary wastes will be contained and collected from portable units throughout the entire construction phase. They must be utilized by all construction personnel. They will be serviced (emptied) a minimum of weekly, or when full by a licensed sanitary waste management contractor.
- Fertilizers and other soil amendments will be applied only in the minimum amounts recommended by the manufacturer.
- Fertilizers will be covered or stored in sealable containers to avoid spills.
- All vehicles on site will be monitored for leaks and receive regular maintenance to reduce the chance of leakage.
- Petroleum Products
 - Petroleum products will be stored in tightly sealed containers or storage tanks which are clearly labeled. Storage tanks shall be in sound condition free of rust or other damage, which might compromise containment. Hoses, valves, fittings, caps, filler nozzles, and associated hardware shall be maintained in proper working condition at all times. Fueling, servicing, and repair of equipment within 50 feet of a stream are prohibited. Any fuel storage facility over 660 gallons will require a specific spill prevention plan that meets state and federal requirements.
 - Above ground storage tanks will have secondary containment structures or berms. Secondary containment will be constructed of sufficiently impervious material with enough storage to contain the volume of the tank plus at least 6 inches freeboard.
- All liquid materials stored on-site will be in their original containers, tightly sealed, and kept in a neat, orderly manner.
- All paint containers and curing compounds will be tightly sealed and stored when not required for use. Excess paint will not be discharged to the storm system, but will be properly disposed according to the manufacturer's instructions.
- Concrete washout from ready mix trucks will be allowed on the construction site, but only in specifically designated containment areas that have been prepared to prevent contact between the concrete and/or wash water and storm water that will be discharged from the site or in locations where waste concrete can be placed into forms to make riprap or other useful concrete products. The cured residue from the concrete washout containment areas shall be disposed in accordance with applicable state and federal regulations. The jobsite superintendent is responsible for assuring that these procedures are followed. Washout on

individual lots will not be permitted. Recycling of concrete wash water and disposal off site is encouraged.

- Form release oil used for decorative stonework will be applied over a pallet covered with an absorbent material to collect excess fluid. The absorbent material will be replaced and disposed of properly, when saturated.
- Building materials, when stored, will be kept away from drainage courses.
- Spill procedures:
 - Spill kits will be included with all fueling sources and maintenance activities.
 - All personnel will be aware of proper spill clean up procedures.
 - Spill containment equipment may include brooms, dust pans, mops, rags, gloves, goggles, kitty litter, sand, saw dust, containment booms, and metal trash containers. All spills will be cleaned up immediately upon discovery.
 - Large spills of flammable or hazardous materials should be reported immediately to the local fire department by calling 911. Large spills must also be reported to the City &/or County Environmental Departments.

g. Sequence of Major Construction Activities

Described below are the major construction activities that are the subject of this SWPPP. They are presented in the order (or sequence) they are expected to begin, but each activity will not necessarily be completed before the next begins. Also, these activities could occur in a different order if necessary to maintain adequate erosion and sedimentation control. The Contractor shall update all activities and the timeframe (beginning and ending dates) and shall be noted on the Site Map and Record of Stabilization and Construction Activity Dates:

- Construct rock pads for construction entrance/exit. This will be the first construction work on the project.
- Temporary perimeter sediment controls installed before any clearing and grading begins.
- Clear and grub the improvement areas. (Sediment barriers already installed down slope per “B” above); Clearing and grading will not occur in an area until it is necessary for construction to proceed (see Project Phasing). Stripping of vegetation on the site will be limited to those areas where construction will start within 14 days or sooner where feasible. All clearing and stripping will follow the construction schedule for the development.
- Excavation and embankment to form the pavement areas;

- Underground Utilities - Sediment barriers shall be utilized as required to bound the down slope side of utility construction and soil stockpiles;
- Final Grading - Sediment barriers shall be maintained down slope from disturbed soil during this operation; and
- Paving
- Building Construction.
- Once construction activity ceases permanently in an area, that area will be stabilized with permanent seed and mulch (or sod) and landscaping.
- After the entire site is stabilized, the accumulated sediment will be removed from the basin.

h. BMP Inspection and Maintenance Procedures

Visual inspections of all cleared and graded areas of the construction site will be performed at a minimum of once every 14 days or within 24 hours of the end of a storm with rainfall amounts greater than 0.5 inches. The inspections will be conducted by the SWPPP Coordinator or a designated team member. The inspection will verify that the structural BMPs are in good condition and are minimizing erosion. The inspection will also verify that BMPs used to contain construction materials and petroleum products are effective. The following inspection and maintenance practices will be used to maintain erosion and sediment controls:

- Built up sediment will be removed from perimeter controls when it has reached one-half the height of the control.
- Silt fences will be inspected for depth of sediment, undermining, tears, and attachment to fence posts. Posts will also be inspected to make sure they are firmly in the ground.
- If failure is recurrent, some other sediment control must be substituted and noted in the SWPPP (note the location and type of substitute BMP on the Erosion and Sediment Control Plan).
- Temporary and permanent seeding will be inspected for bare spots, washouts, and healthy growth.
- Stabilized construction entrances will be inspected to determine if soil is leaving the site. A layer of clean gravel should be placed whenever excess soil has accumulated on the surface of the construction entrance.

Visual inspections of all cleared and graded areas of the construction site will be performed at a minimum of once every 14 days and within 24 hours of the end of a storm with rainfall amounts greater than 0.5 inches. Based on the results of the inspection, necessary control modifications shall be implemented within 7 days. Visual inspection activities can be documented as needed using other appropriate

forms/logs, and attached to the SWPPP. If construction activities or BMPs change during this project, the SWPPP will be amended appropriately.

i. Project Contacts and Coordination

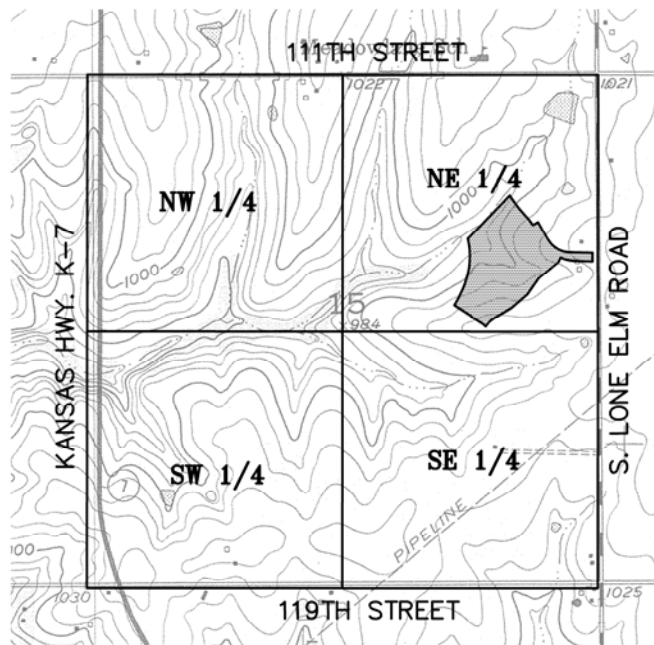
The construction site SWPPP Coordinator for Covington Court, Second Plat is yet to be determined. SWPPP Coordination duties include:

- implement the SWPPP with the aid of the SWPPP team;
- oversee maintenance practices identified as BMPs in the SWPPP;
- notify the City Inspector after installation of perimeter sediment controls and prior to any significant deviations from the SWPPP;
- conduct or provide for inspection and BMP maintenance activities;
- identify other potential pollutant sources and make sure they are added to the SWPPP;
- identify any deficiencies in the SWPPP and make sure they are corrected; and
- ensure that any changes in construction plans or BMPs are addressed in the SWPPP.

II. DRAWINGS

- a. Vicinity Map
- b. Site Map
- c. Erosion and Sediment Control Plan

COVINGTON COURT, SECOND PLAT
PART OF THE NE 1/4 SECTION 15, T. 13 S., R. 23 E.,
IN THE CITY OF OLATHE, JOHNSON COUNTY, KANSAS.



SCALE:
1"=2000'

LOCATION MAP
SECTION 15-13-23



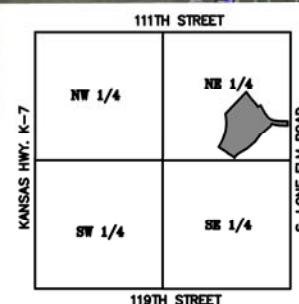
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PROJECT NO. 160985
DATE: 10-5-16
BY: MAP

COVINGTON COURT,
SECOND PLAT



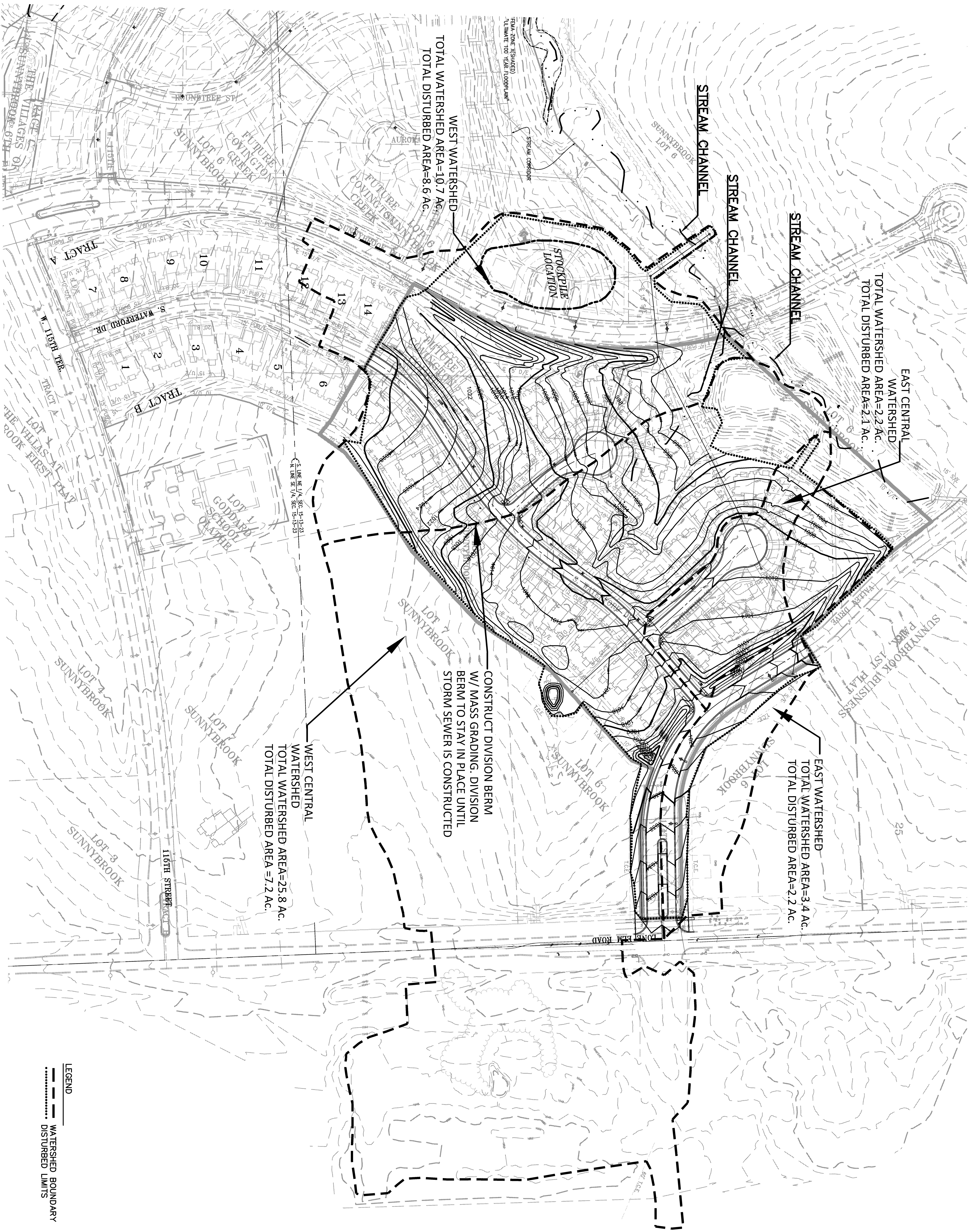
LOCATION MAP
SECTION 15-13-23



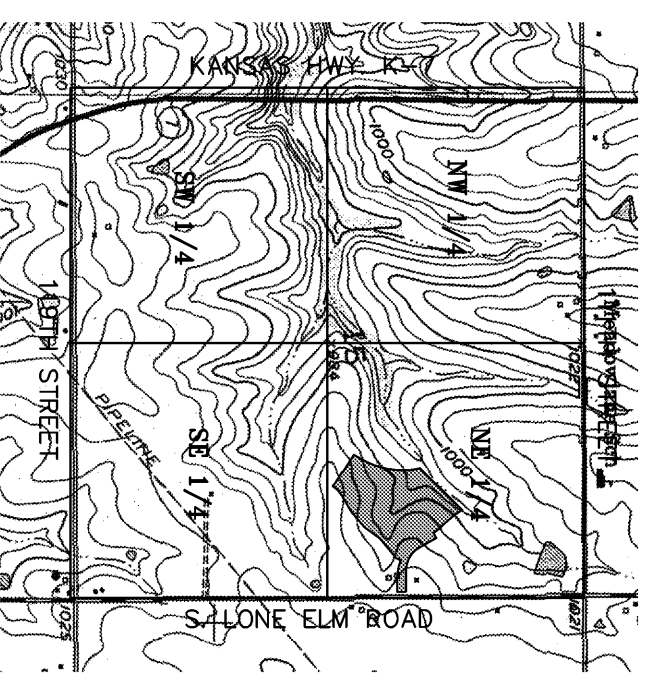
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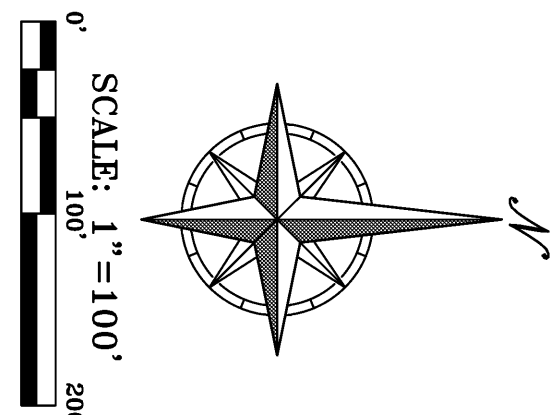
PROJECT NO. 160985
DATE: 10-5-16
BY: MAP



LEGEND
--- WATERSHED BOUNDARY
--- DISTURBED LIMITS



SCALE: 1"=200'



TOTAL AREA DISTURBED=19.8 AC.

PROJECT NO.	160985	No.	Date	Revisions:	By	App.
DATE:	10-5-16					
DRAWN:	MAP					
DESIGNED:	TJT					
CHECKED:	TJT					
APPROVED:	TJT					

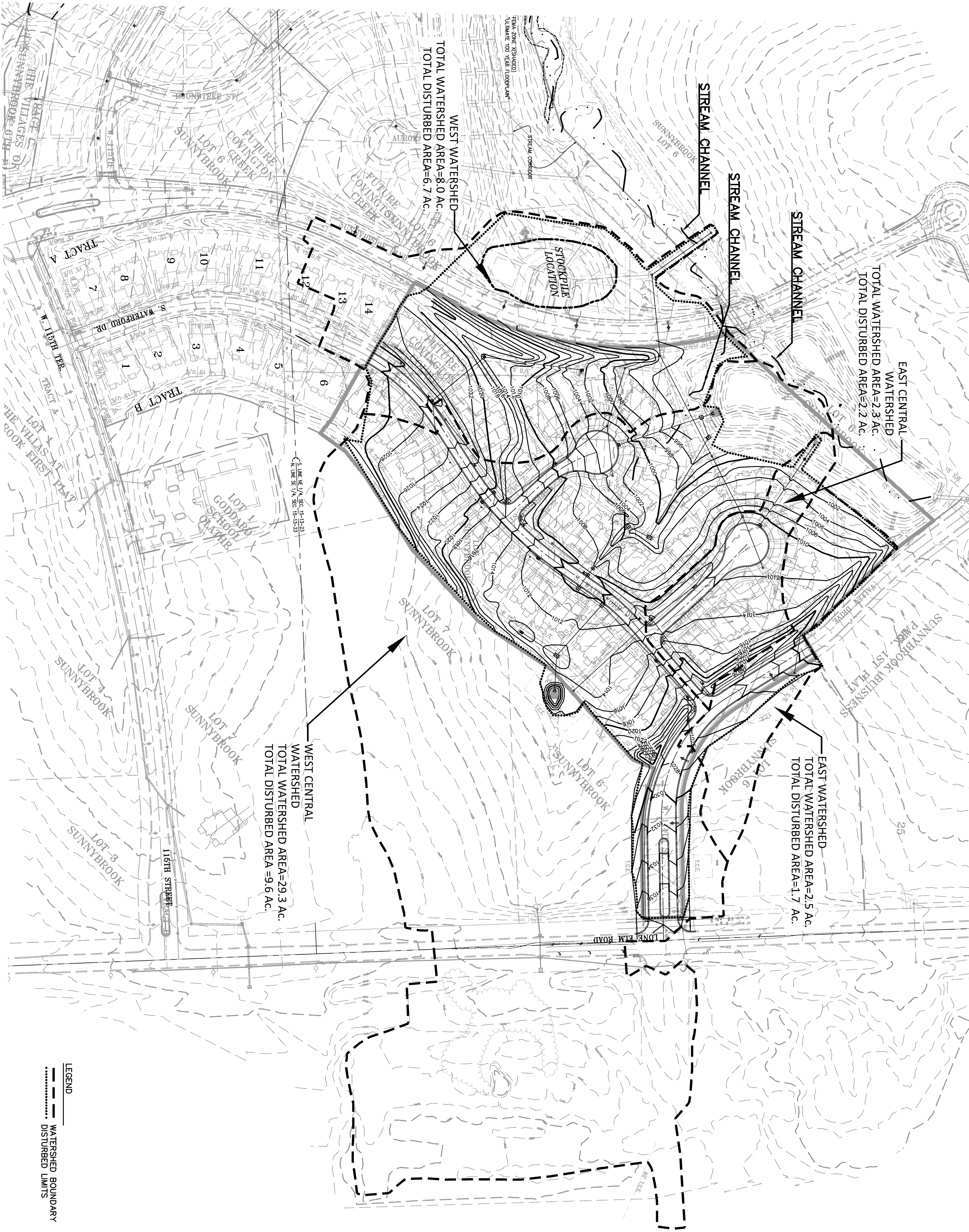
SEDIMENT DRAINAGE MAP
W/ MASS GRADING ONLY
COVINGTON COURT, SECOND PLAT
OLATHE, KANSAS
C.P.N. 3-D-117-16



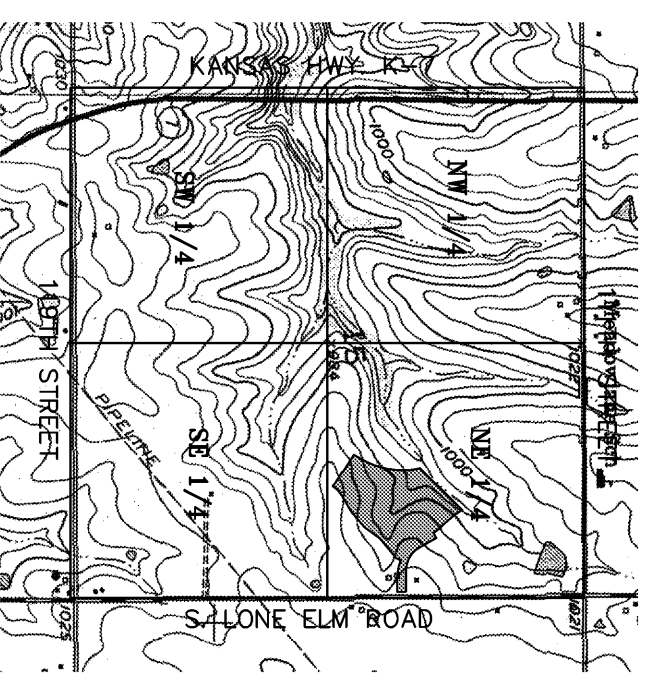
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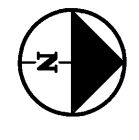
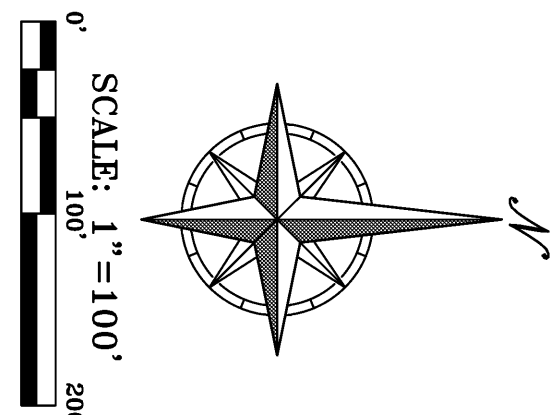




LEGEND
--- WATERSHED BOUNDARY
- - - - - DISTURBED LIMITS



TOTAL AREA DISTURBED=19.8 AC.



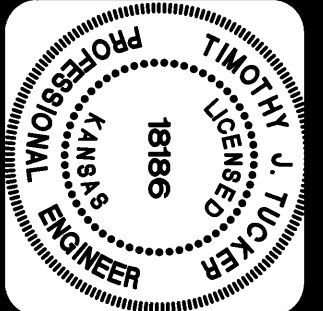
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1"=200'

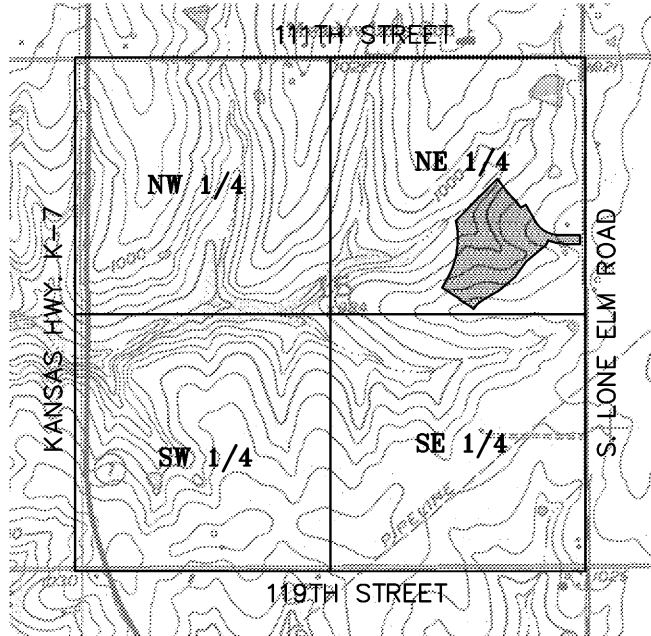
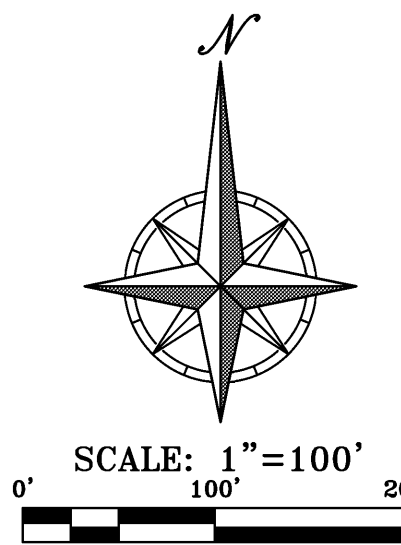
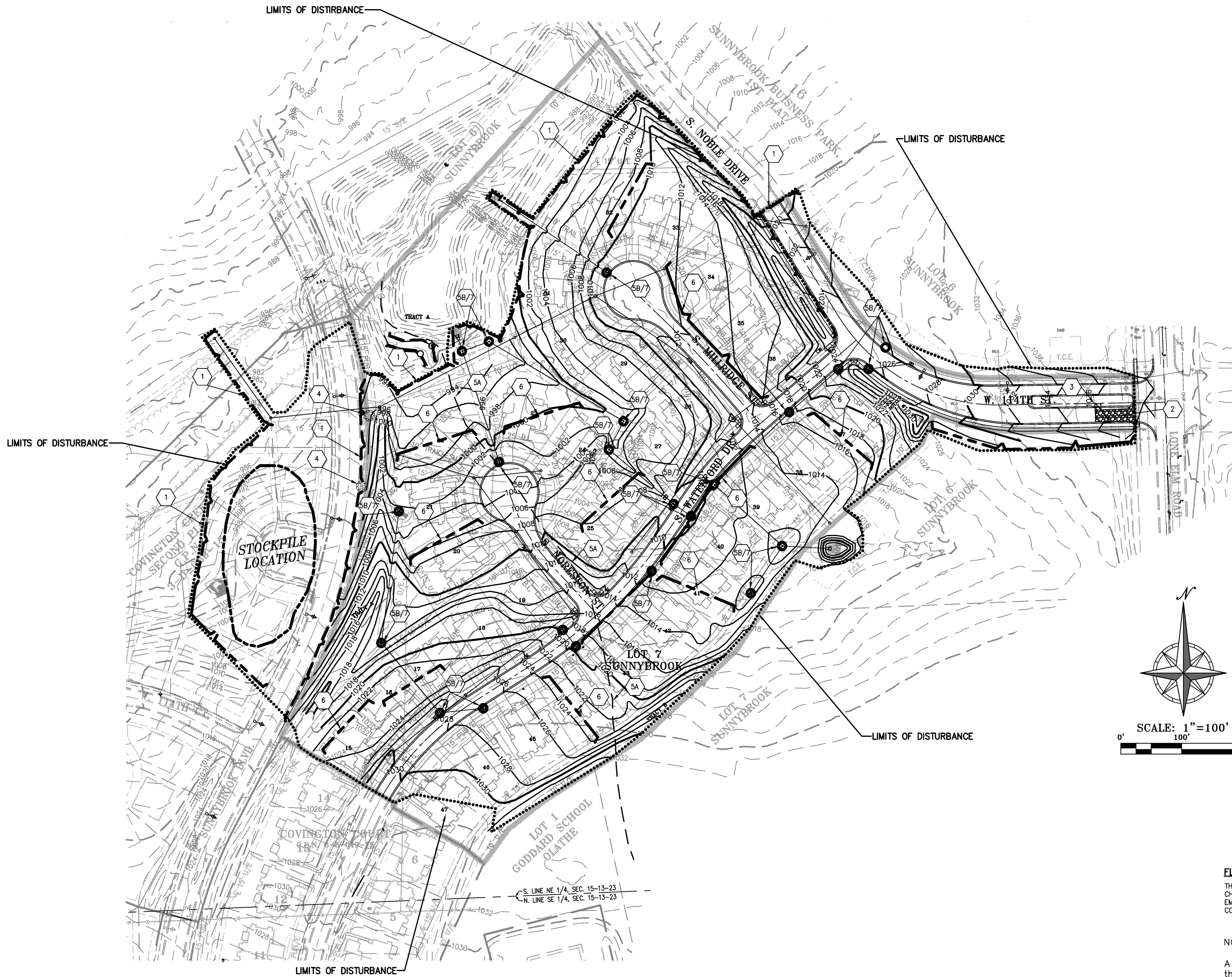
PROJECT NO.	160985	No.	Date	Revisions:	By	App.
DATE:	10-5-16					
DRAWN:	MAP					
DESIGNED:	TJT					
CHECKED:	TJT					
APPROVED:	TJT					

**SEDIMENT DRAINAGE MAP
W/ MASS GRADING & STORM SEWER**
COVINGTON COURT, SECOND PLAT
OLATHE, KANSAS
C.P.N. 3-D-117-16

PEI
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LOCATION MAP
SECTION 15-13-23



Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
ROUGH GRADE / SEDIMENT CONTROL																		
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
STORM FACILITIES																		
TEMPORARY CONSTRUCTION ROADS																		
FOUNDATION / BUILDING CONSTRUCTION																		
SITE CONSTRUCTION																		
PERMANENT CONTROL STRUCTURES																		
FINISH GRADING																		
LANDSCAPING/SEED/FINAL STABILIZATION																		

MAINTENANCE:

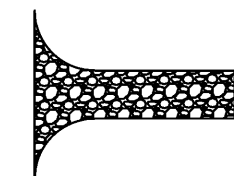
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

EROSION CONTROL NOTES:

1. The contractor shall provide all materials, tools, equipment and labor as necessary to install and maintain adequate erosion control to prevent soil from leaving the project site. It shall be the contractor's responsibility to insure that the methods utilized comply with the requirements of the governmental agencies having jurisdiction over the work.
2. The contractor shall control the grading operation so that the site is well drained at all times and shall schedule the work to minimize the erosion of material by the use of staked straw bales and other acceptable methods to protect the abutting properties, streets, and all utilities.
3. Erosion control devices shall remain in place for the duration of the project.
4. The contractor shall seed/mulch and or sod all areas disturbed during the construction activities.
5. All perimeter silt fence, earth dikes, sediment basins, and rock construction entrances will be installed before grading operations begin, except that silt fence which is to be placed along the back of curb for protection of the street. Silt fence and earth dikes that are placed before grading begins will be maintained by the grading contractor until all utilities are in place. The silt fence that is placed along the back of the curb or Right-of-Way will be installed immediately after the curb is constructed.

LEGEND



- Stabilized Rock Entrance
- Silt Fence
- Intermediate Silt Fence
- Back of Curb Silt Fence
- Limits of Disturbed Area
- Inlet Protection
- Inlet Protection for Existing Inlets

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OLATHE, COMMUNITY NO. 200173, JOHNSON COUNTY, KANSAS, PANEL NO. 20091C0063G, AND DATED AUGUST 3, 2009.

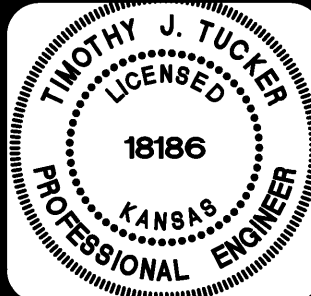
NOTE:

A Storm Water Pollution Prevention Plan (SWPPP) has been prepared for this project and is incorporated herein by reference into the project requirements. The Contractor shall keep a copy of the SWPPP, these Erosion Control Plans, the Notice of Intent (NOI) and inspection book on the job site at all times.

LIMITS OF DISTURBED
AREA = 19.8 AC.

STAGING CHART

Project Stage	BMP Plan Ref No.	BMP Description	Remove after Stage:	Notes:
A. Prior to Land Disturbance	①	Sediment Fence	E	Place downstream project site perimeter.
	②	Constr Entrance & Staging Area	D	
	③	Concrete Washout	D	
	④	Existing Inlet Protection	E	Install gravel filter bags.
B. Storm Sewer Installation	⑤A	Division Berm	C	Construct division berm with mass grading. Division berm to stay in place until storm sewer is constructed. Reference sheet 12
	⑤B	Inlet Protection	E	Install silt fence inlet protection with wire support.
C. Mass Grading	⑥	Intermediate Sediment Fence	E	Install after storm sewer installation & mass grading completed.
D. After Paving	⑦	Inlet Protection	E	Install gravel filter bags.
E. During Building Construction until closure of Land Disturbance Permit		Seed	N/A	Seed & Landscape Disturbed Area upon completion of construction.



HELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166
www.helpsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION



EROSION CONTROL PLAN
COVINGTON COURT, SECOND PLAT
OLATHE, KANSAS
C.P.N. 3-D-117-16

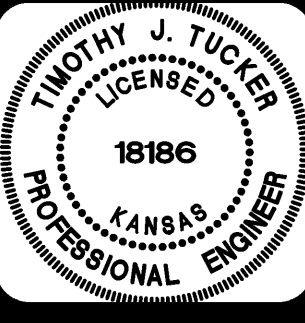
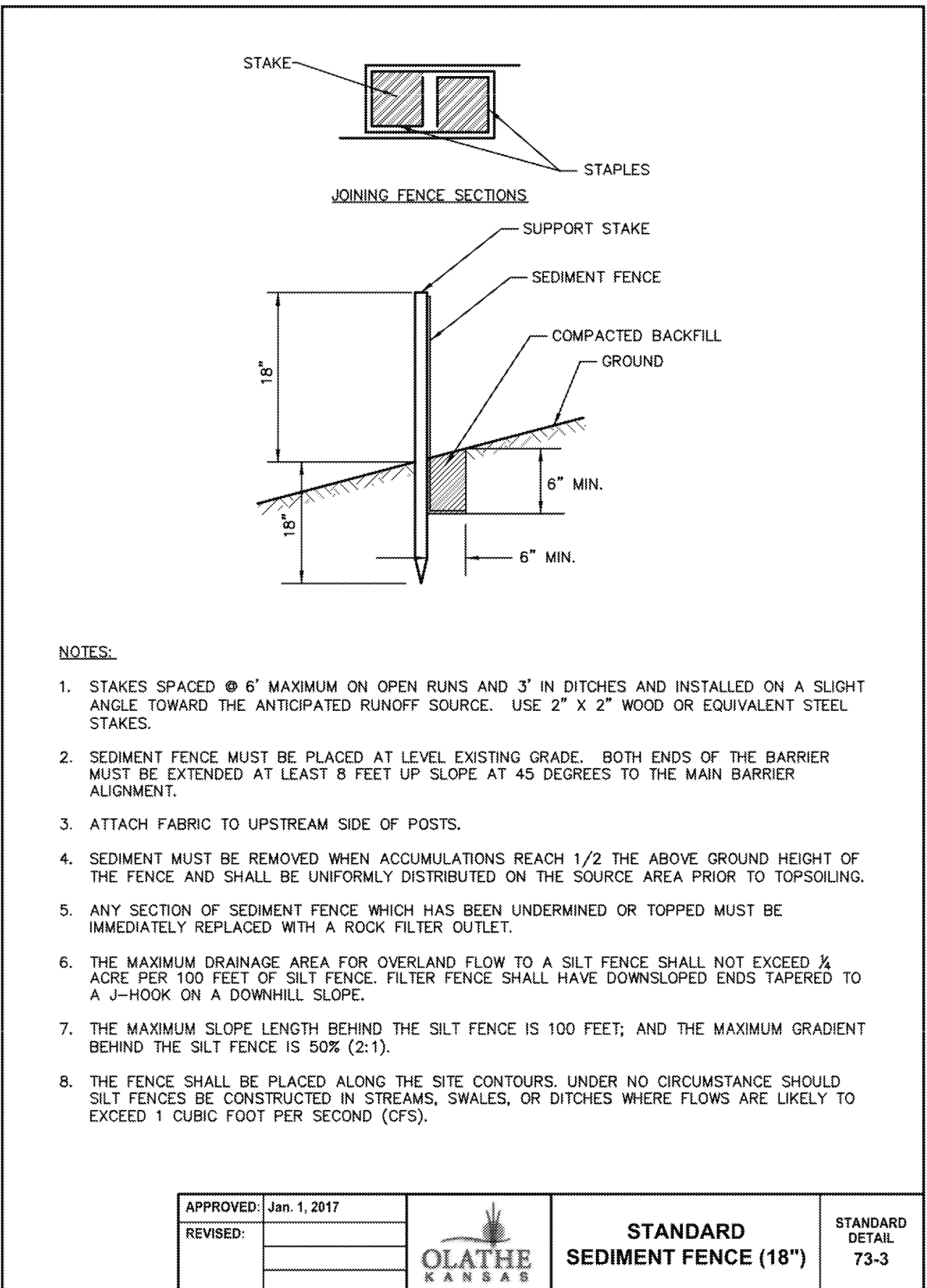
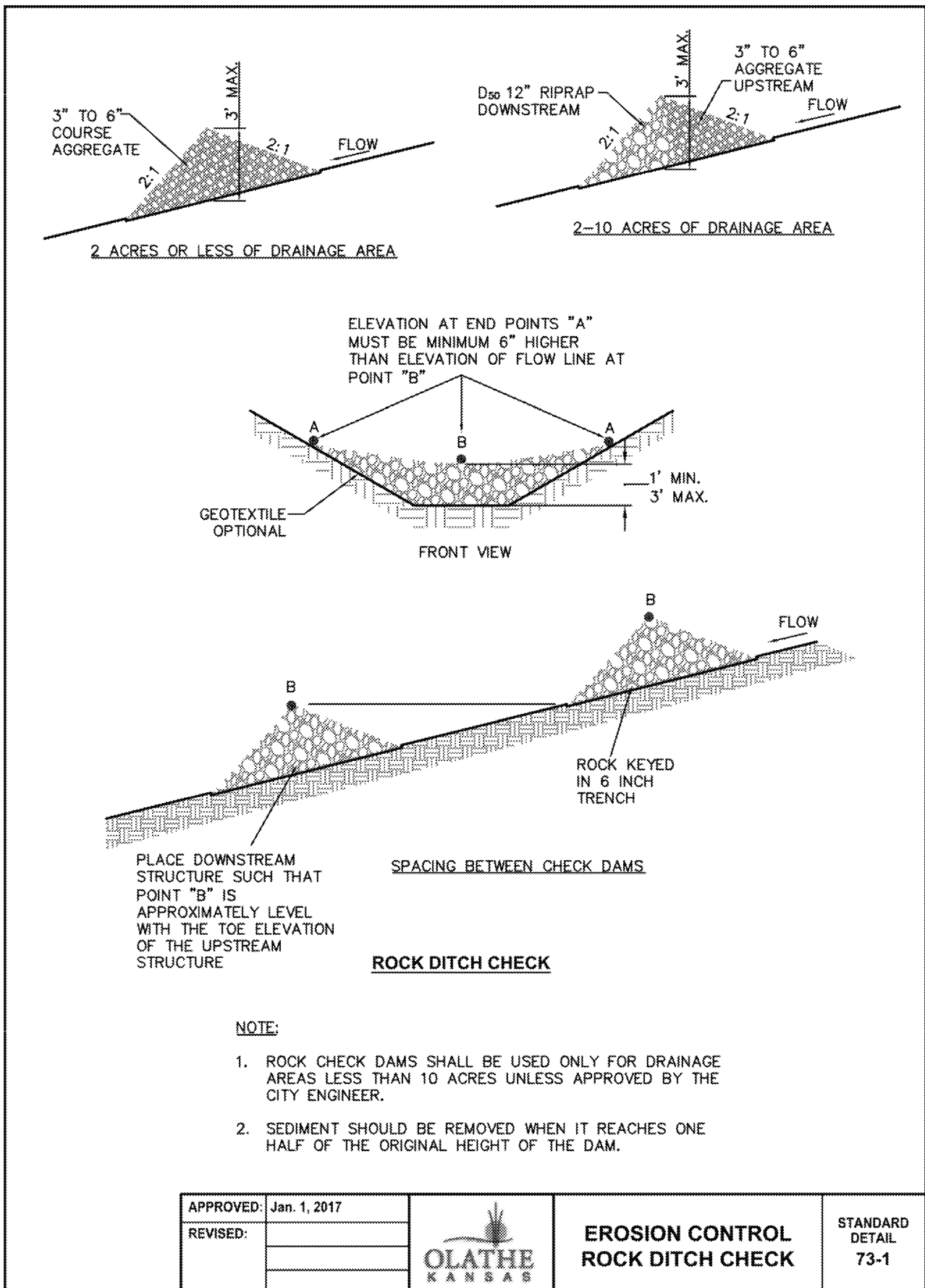
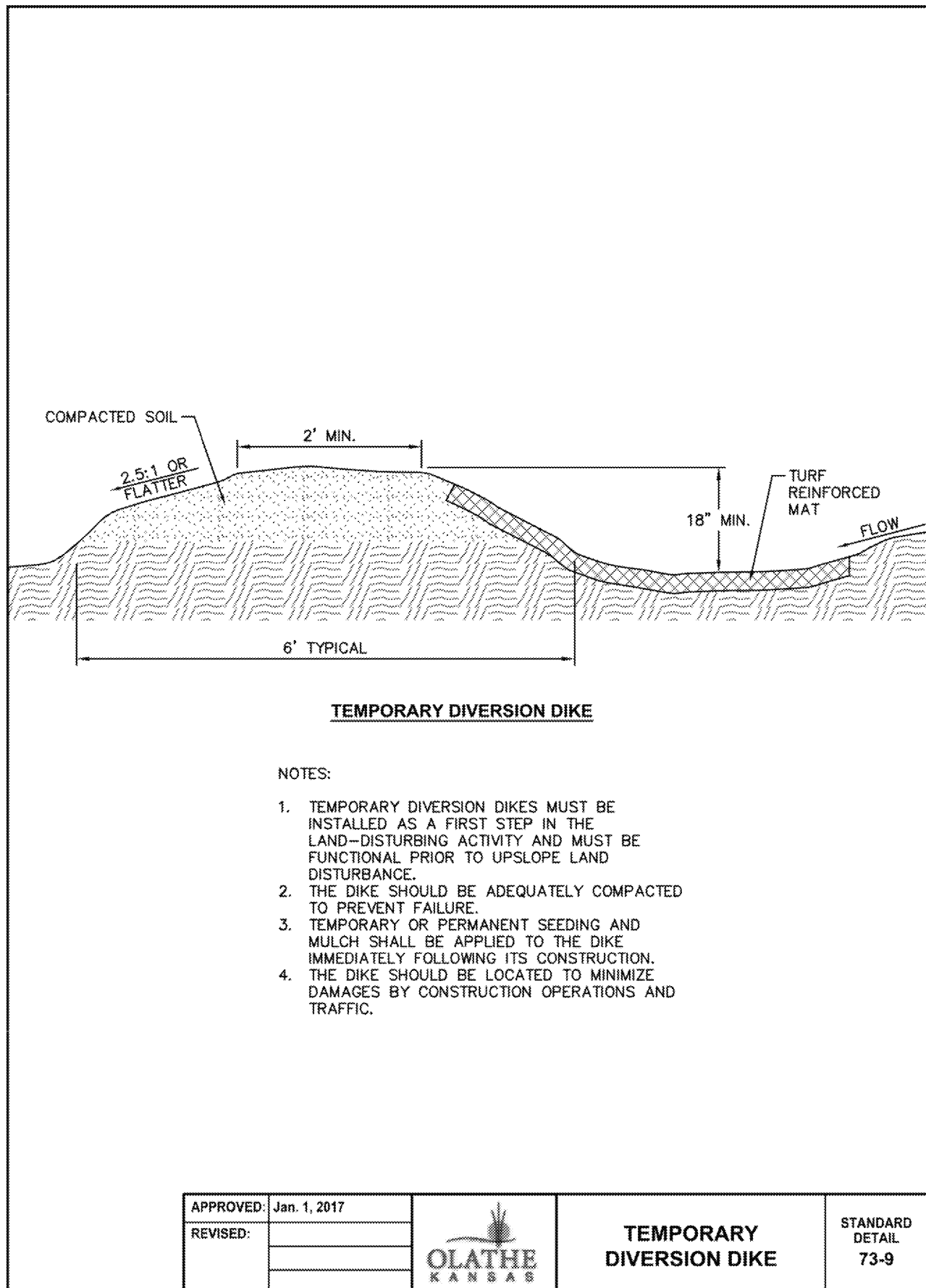
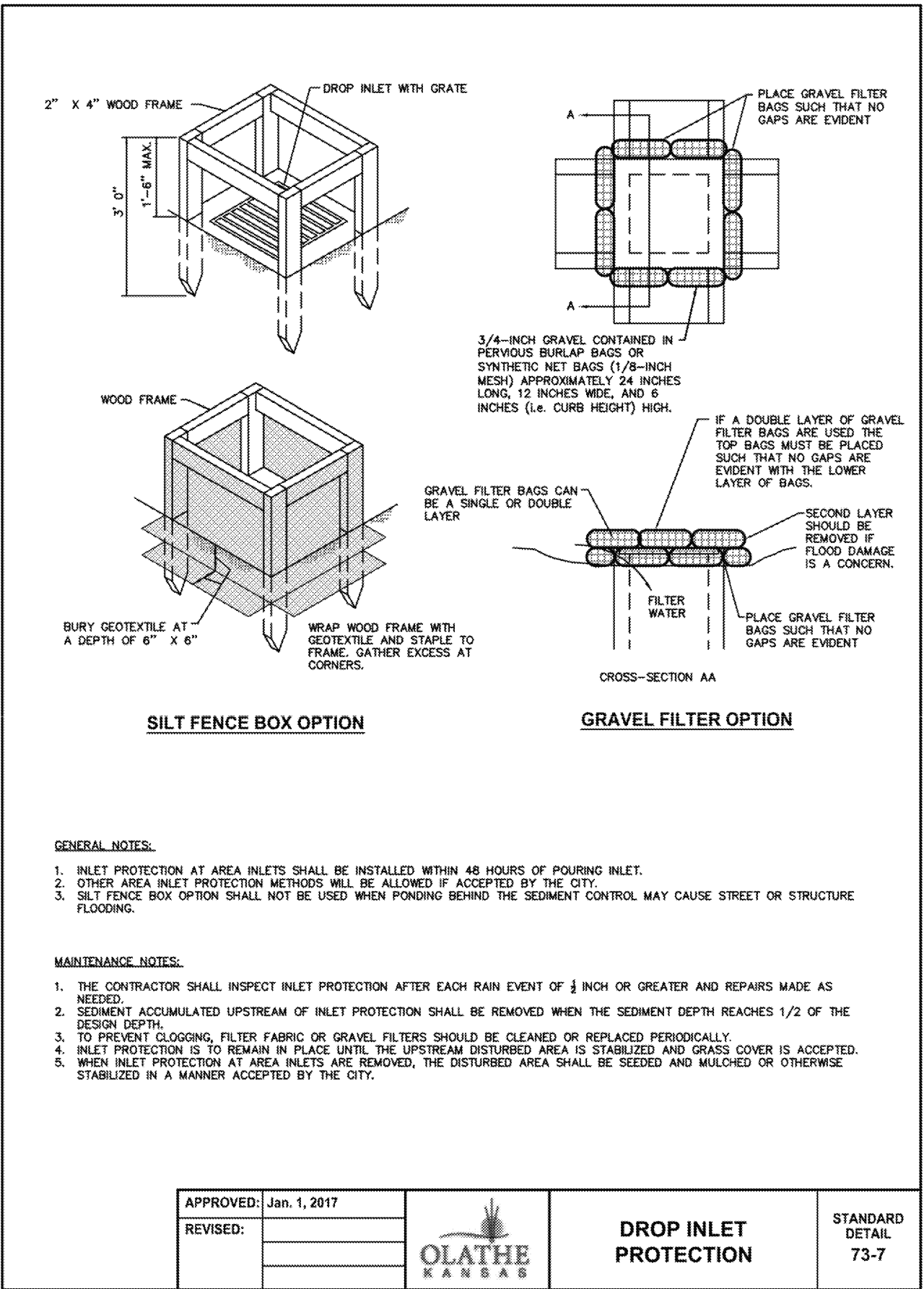
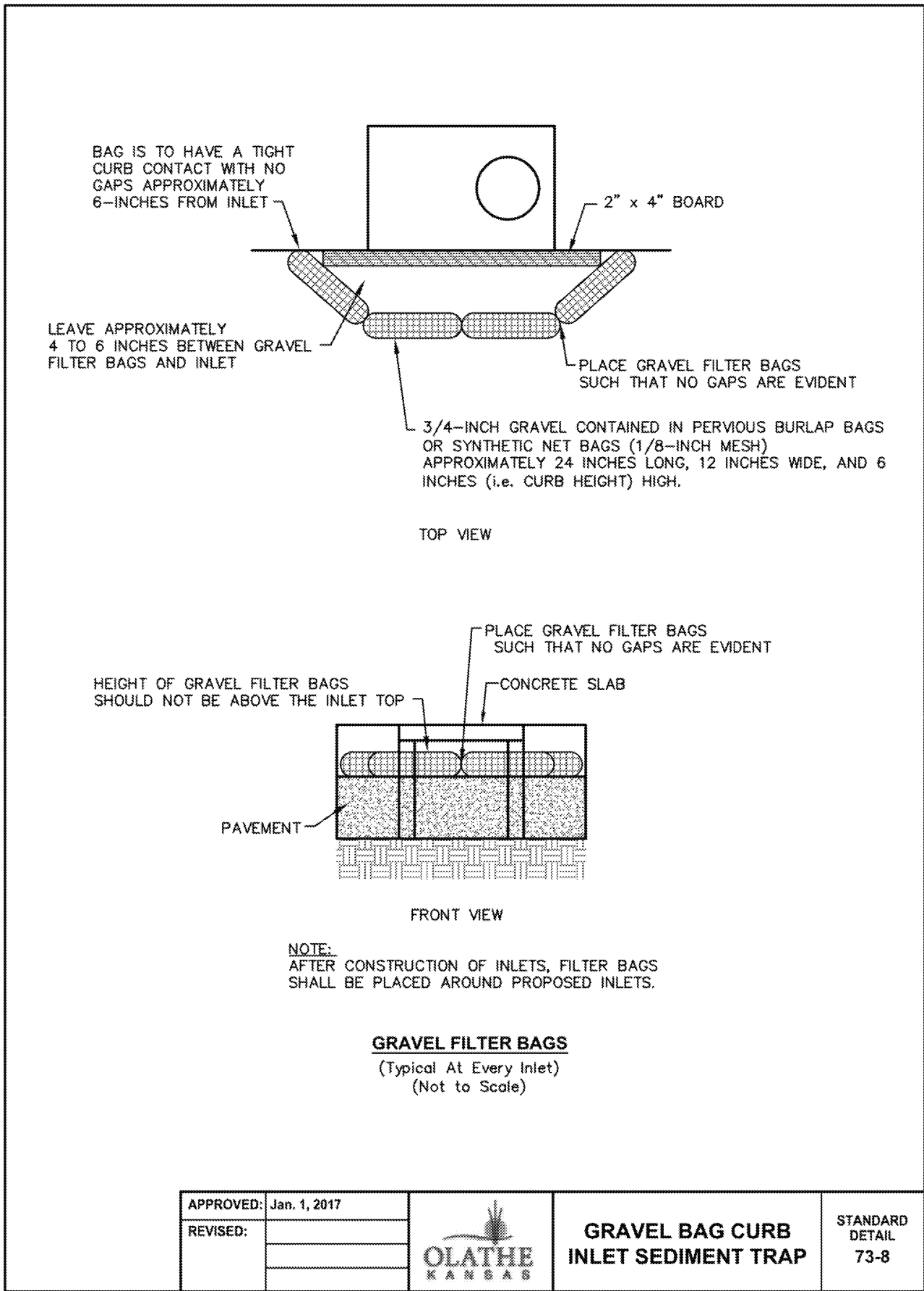
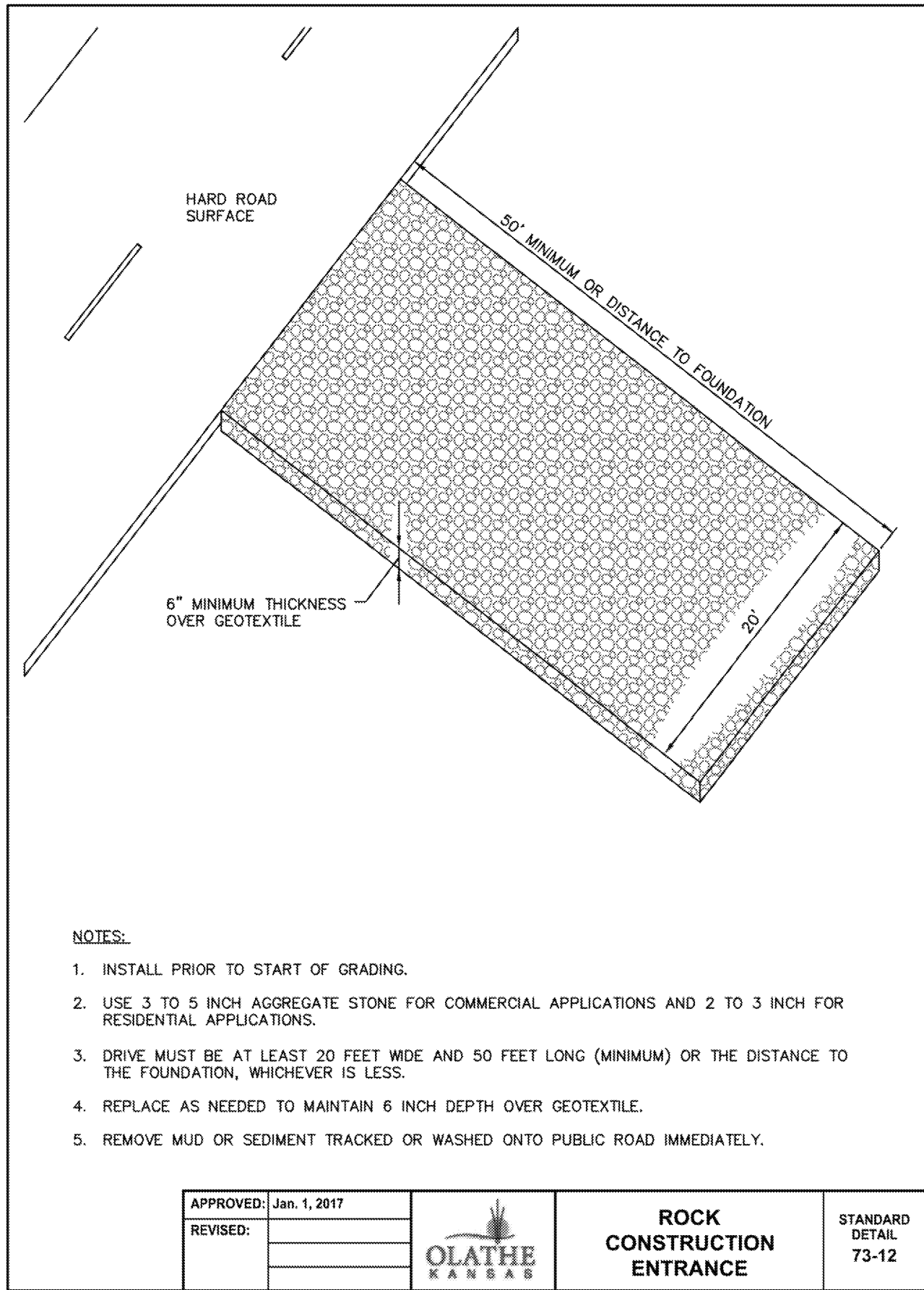
PROJECT NO.	DATE	NO.	DATE	REVISIONS	BY	APP.
160985	10-5-16					
DRAWN:	MAP					
DESIGNED:	TJT					
CHECKED:	TJT					
APPROVED:	TJT					

SHEET

18

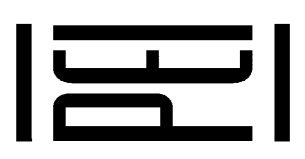
OF 23

Z:\1\160985\DWG\STREET\EROSION.dwg Loyalt-D-DETAILS Apr 11, 2017 - 10:05am Jeff Zimmerman



PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166
www.phelpsenengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION



EROSION CONTROL DETAILS
COVINGTON COURT, SECOND PLAT
OLATHE, KANSAS
C.P.N. 3-D-117-16

PROJECT NO.	160985	DATE:	10-5-16	DRAWN:	MAP	DESIGNED:	TJT	CHECKED:	TJT	APPROVED:	TJT
By		Date		No.							
Revisions:											

III. PERMITS

- a. Notice of Intent (NOI)
- b. State Historical Society Notification/Response
- c. State Department of Wildlife and Parks Notification/Response
- d. City Land Disturbance Permit (*to be inserted once obtained*)



NOTICE OF INTENT (NOI)

For Authorization to Discharge Stormwater Runoff from Construction Activities
 In accordance with the Kansas Water Pollution Control General Permit
 Under the National Pollutant Discharge Elimination System (NPDES)

Submission of this Notice of Intent constitutes notice that the party identified in Section I of this form requests authorization for coverage under the Kansas Water Pollution Control general permit, or KDHE issued successor permits, issued for stormwater runoff from construction activities in the State of Kansas. Becoming a permittee obligates the discharger to comply with the terms and conditions of the general permit. **Completion of this NOI does not provide automatic coverage under the general permit. Coverage is provided and discharge permitted when the Kansas Department of Health and Environment (KDHE) authorizes the discharge of stormwater runoff from the construction activities identified on the NOI and supporting documentation. A signed and dated copy of the first page of the NOI indicating the Authorization will be provided to the owner or operator, or all three pages for Conditional Authorizations.** Upon authorization of the construction activity discharge, a Kansas permit number and a Federal permit number will be assigned to the construction project. **A complete request for Authorization for coverage under the general permit must be submitted or the request will not be processed (see listing on Page 3 of this NOI).** KDHE will notify owners or operators whose Notice of Intent (NOI) and supporting documentation for Authorization of stormwater runoff associated with construction activities are incomplete, deficient, or denied.
Please Print or Type.

I. OWNER OR OPERATOR ADDRESS, BILLING, CONTACT & RECORDS LOCATION INFORMATION

A. Owner or Operator's Name: Tom French
 Company Name: Heartland Development, L.P.
 Owner or Operator's Phone: (913) 387-0188
 Mailing Address: 15106 Glenwood Avenue
 City: Overland Park State: KS Zip: 66223

B. Billing Contact Name: same as above
 Billing Contact Address (if different): _____
 City: _____ State: _____ Zip: _____

C. Contact Name: Tom French
 Company Name: Heartland Development, L.P.
 Contact Phone: (913) 387-0188
 Mailing Address: 15106 Glenwood Avenue
 City: Overland Park State: KS Zip: 66223
 E-mail Address (optional): tfrench@tomfrenchconstructioninc.com

D. Address where records will be kept (if not on-site):
 Records Address: 15106 Glenwood Avenue
 City: Overland Park State: KS Zip: 66223

II. SITE INFORMATION

A. Project Name: Covington Court, Second Plat
 Site Address: 115th St. & Sunnybrook Blvd.
 City: Olathe State: KS Zip: 66061
 (Nearest City to Project) County: Johnson

B. LEGAL SITE DESCRIPTION:

____ QTR of ____ QTR of NE QTR Section: 15
 Township: 13 South; Range: 23 ☒ E ☐ W
 Latitude: 38° 55' 19.3" Longitude: 94° 50' 15.4"
 Deg. Min. Sec. Deg. Min. Sec.

For Official Use Only:

Received RECEIVED APR - 3 2017 BUREAU OF WATER	Amount Paid:	Authorized: <input checked="" type="checkbox"/> Y; <input type="checkbox"/> N
	Date:	Is Authorization Conditional? <input type="checkbox"/> Y; <input checked="" type="checkbox"/> N (if yes, see page 3 of NOI for conditions)
	Initials:	 Reviewer <u>2017-04-06</u> Date
	Check No.:	
Secretary, Kansas Department of Health and Environment <u>Susan K. Mosier</u>		
KS Permit No.: <u>5-K552-0470</u>		Federal Permit No.: <u>KSR112567</u>

Send completed 3 page NOI form with original signature
 and all appropriate submittals (see page 3 of NOI) to:

Note: A copy of the permit can be obtained at: www.kdheks.gov/stormwater
 or by submitting a written request to KDHE.

Kansas Department of Health and Environment
 Bureau of Water, Industrial Programs Section
 1000 SW Jackson, Suite 420
 Topeka, KS 66612-1367

KDHE Contact Information:
 Phone: (785) 296-5545
 E-mail: stormwater@kdheks.gov

Project Name: Covington Court, Second Plat

Notice of Intent (NOI)

C. EXISTING CONDITIONS/USES

- 1) Is any part of the project located on Indian Country land? ☐ Y; ☒ N
If yes: Contact EPA regarding discharging stormwater runoff from industrial activities on Indian Country land.
- 2) If stormwater runoff drains to or through a Municipal Separate Storm Sewer System (MS4): MS4 Name: Olathe
- 3) Name of the first receiving water, stream, or lake: Little Cedar Creek, River Basin: Cedar Creek
- 4) Are contaminated soils present on the site or is there groundwater contamination located within the site boundary? ☐ Y; ☒ N
If yes: On separate paper please explain in detail the locations, contaminants and concentrations.
- 5) Are there any contaminated soils that will be disturbed or any contaminated groundwater that will be pumped by the proposed construction activity? ☐ Y; ☒ N
If yes: On separate paper provide a description of the special erosion and sediment control measures to be utilized.
- 6) Are there any surface water intakes for public drinking water supplies located within ½ mile of the site discharge points? ☐ Y; ☒ N
- 7) Are there any known historical or archeological sites present within the site boundary or any historic structures located within 1000 feet of the project site? ☐ Y; ☒ N
Note: Include documentation of project-specific coordination with the Kansas Historical Society in making this determination.
- 8) Is any threatened or endangered species habitat located within the site boundary or in the receiving water body? ☐ Y; ☒ N
Note: Include documentation of project-specific coordination with the Kansas Department of Wildlife, Parks & Tourism in making this determination.
- 9) Will the project impact the line or grade of a stream or does it include dredge or fill of a potential jurisdictional water body or wetlands? ☐ Y; ☒ N
If yes: Include documentation of project-specific coordination with the US Army Corps of Engineers and/or the Kansas Department of Agriculture, Division of Water Resources in making this determination.
- 10) Are any Critical Water Quality Management Areas, Special Aquatic Life Use Waters, or Outstanding National Resource Waters located within ½ mile of the facility boundary? ☐ Y; ☒ N
If yes, list the names of all such areas and waters: _____

D. PROJECT DESCRIPTION

- 1) Project Description: 18.8 acre site to be developed as residential, single family homes; installation of storm sewer, sanitary sewer & street lighting
- 2) Does this NOI include all proposed soil disturbing activities associated with the entire common plan of development? ☒ Y; ☐ N
If no, explain what development areas of the site are not included in this NOI and provide contact information, if available, for the party or parties that own or have operational control of these areas:

- 3) Anticipated project Start Date: spring 2017, and Completion Date: summer 2017
- 4) Estimated total area to be disturbed: 20.2 Acres Total area of the site: 18.8 Acres
- 5) Do you plan to disturb ten or more acres that are within a common drainage area? ☐ Y; ☒ N
If yes, will a sedimentation basin be installed in that drainage area? (Attach design calculations for each sedimentation basin.) ☐ Y; ☒ N
 If a sediment basin is not feasible, on a separate sheet explain what similarly effective erosion and sediment control measures will be implemented in lieu of a sedimentation basin.

E. Maps

Include an area map showing the outline of the construction site and the general topographic features of the area at least one mile beyond the project site boundary.

F. EROSION CONTROL PLAN AND BEST MANAGEMENT PRACTICES

- 1) Provide a site plan showing the existing contour, proposed contour, the erosion control measures and the locations of stormwater management or pollution control features including BMPs. Incorporate details and notes as necessary to describe the erosion control plans and BMPs.
- 2) Provide a description of the best management practices which will be utilized to control erosion, sedimentation and other pollutants in stormwater runoff during construction.

Project Name: Covington Court, Second Plat

Notice of Intent (NOI)

- 3) Provide a summary of the sequence of major soil disturbing activities and the corresponding erosion control measures or BMPs.
- 4) Provide the name and License or Certification Number of the engineer, geologist, architect, landscape architect, or Certified Professional in Erosion and Sediment Control (CPESC) under which the construction stormwater pollution prevention plan has been developed.

Timothy J. Tucker

Name

KS P.E. #18186

License or Certification Number

Professional Engineer

Profession or Field (Engineer, Architect, etc.)

III. ANNUAL FEE

Enclose a check for the first year of the annual permit fee specified in K.A.R. 28-16-56 et seq. as amended. Make the check payable to "KDHE". Per K.A.R. 28-16-56, as amended, the current annual permit fee for this general permit is \$60. An invoice for the annual permit fee will be sent to the contact person requesting a permit until such time as the permittee submits a Notice of Termination (NOT).

Failure to pay the annual fee will result in termination of the construction stormwater discharge Authorization.

IV. OWNER OR OPERATOR CERTIFICATIONS

I, the undersigned, certify that a Stormwater Pollution Prevention Plan (SWP2 Plan) will be or has been developed for the construction site described in this NOI and supporting documentation. I further certify that the plan will be implemented at the time construction begins, and, as required by the NPDES general permit for Stormwater Runoff from Construction Activity, will revise the SWP2 plan if necessary.

I understand that continued coverage under the NPDES general permit for Stormwater Runoff from Construction Activities is contingent upon maintaining eligibility as provided for in the requirements and conditions of the general permit, and paying the annual fee.

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Tom French, Pres
Signature (owner or operator)

Tom French

12/20/16
Date

Name and Official Title (Please print or type. Form with original signature must be sent to KDHE.)

Conditions of Authorization - For Official Use Only:

When indicated, Conditions of Authorization are as follows:

A complete request for Authorization for coverage under the general permit must be submitted or the request will not be processed. A complete request for Authorization includes:

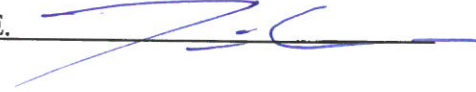
- An NOI form (construction stormwater) with an original authorized signature;
- The annual permit fee for the first year; (\$60.)
- An area map showing the outline of the construction site and the general topographic features of the area at least one mile beyond the project site boundary;
- A detailed site plan showing the existing contours, proposed contours, erosion and sediment control features, locations where stormwater runoff leaves the construction site;
- A narrative summary of the additional erosion and sediment control and other best management practices that will be utilized to prevent or reduce contamination of stormwater runoff from the construction activities;
- Total drainage area, storage capacity and design calculations for each sedimentation basin; and
- Copies of letters or e-mails documenting coordination with appropriate local, state or federal agencies.

IV. SIGNATURES

- a. SWPPP Certification and Owner Certification
- b. Contractor Certification

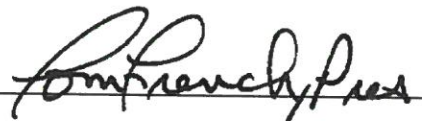
SWPPP Certification *(the SWPPP must be prepared by a licensed engineer or a Certified Professional in Erosion and Sediment Control (CPESC))*

As the SWPPP preparer, I certify that appropriate BMPs have been recommended to effectively minimize negative impacts of this project's construction activities on storm water quality. The project owner and contractors are aware that selected BMPs must be installed, monitored, and maintained to ensure effectiveness.

Prepared by: Timothy J. Tucker, P.E. 
Title: Project Engineer
Date: 12/27/14

Owners Certification

I hereby certify that I am the owner of the property described in this plan, or the legally authorized agent, and that I assume full responsibility for the implementation and performance of this plan, and will comply with the requirements of any local, state, or federal permit required for this project.

Owner:  Date: 12/20/16
Title: _____



CONTRACTOR'S CERTIFICATION FORM

For Discharge of Stormwater Runoff from Construction Activities
In accordance with the Kansas Water Pollution Control General Permit
Under the National Pollutant Discharge Elimination System

This form is to be completed by each Contractor responsible for installation, operation, or maintenance of any construction stormwater best management practices (BMPs) necessary to complete the requirements of the Stormwater Pollution Prevention Plan. This completed form must be included in, or kept with, the Stormwater Pollution Prevention Plan for the site identified below.

I certify under penalty of law that I understand the terms and conditions of the Kansas Water Pollution Control general permit that authorizes the stormwater discharges associated with construction activity from the construction site identified below, and the Stormwater Pollution Prevention Plan prepared for the project.

Name of Project: _____

City: _____ County: _____ State: KS

Kansas Water Pollution Control General Permit No. S-MCST-0701-1

Kansas Permit No. _____ Federal Permit No. _____

Contractor Information

Company Name: _____

Company Address: _____

Company Phone Number: _____

Project Responsibilities: _____

Contractor's Signature: _____ Date: _____

Name (typed or printed): _____

V. SITE INSPECTION FORMS/LOGS

(Permittee or Contractor shall attach all site inspection forms, daily activity logs, etc.)

- a. Maintenance Inspection Report
- b. Record of Site Stabilization and Construction Activity Dates

Maintenance Inspection Report # _____

Date of Inspection: _____ Reason for inspection* _____

Project Name/Location: _____

Owner: _____

Weather Conditions: _____

Rain in last 24 hours (inches): _____

Inspector Name (print) and Signature: _____

Stage of Construction:

_____ Pre-construction Meeting	_____ Temporary Stabilization
_____ Installation of Perimeter ESC Measures	_____ Finish Grading
_____ Clearing and Grubbing	_____ Public Improvements
_____ Rough Grading	_____ Building Construction
_____ Other (Describe: _____)	

Inspection Checklist:

BMP Condition	Yes	No	N/A	If “no”, list locations needing BMPs and/or maintenance.
Storm Sewer Inlet Barriers (sand bags, gutter buddies, straw wattles)				
Are storm sewer inlet barriers properly placed?				
Are storm sewer inlet barriers in good condition?				
Are barriers controlling flows into the inlet?				
Is sediment height less than ½ the barrier height?				
Are all storm water inlets protected?				
Are storm sewer boxes and/or pipes free of sediment?				
Perimeter Controls (diversions, silt fence, straw wattles, mulch berms, etc.)				
Is offsite storm water drainage diverted?				
Are perimeter controls up and in good condition?				

BMP Condition	Yes	No	N/A	If “no”, list locations needing BMPs and/or maintenance.
Perimeter Controls (continued)				
Have all offsite properties and drainages been protected by perimeter controls?				
Stabilized Construction Entrances				
Is there adequate clean gravel present?				
Is soil and gravel staying onsite?				
Are contractors using the stabilized construction entrance?				
Stream Crossings				
Are temporary crossings controlling erosion?				
Are culverts adequately sized?				
Temporary Stabilization				
Are seeded areas properly established?				
Is mulch crimped in and holding seed in place?				
Are erosion control blankets and mats in good condition?				
Are soil piles seeded, mulched and bordered down slope by sediment barriers?				
Sediment Basin				
Is the basin less than ½ full of sediment from original design?				
Are side slopes in good condition?				
Is the basin containing storm water flows?				
Is the outfall in good condition?				

BMP Condition	Yes	No	N/A	If “no”, list locations needing BMPs and/or maintenance.
Swales and Drainage Ways				
Are ditch bottoms protected from undercutting and erosion?				
Are ditch checks properly maintained?				
Are outfalls properly stabilized?				
Slope Protection				
Are all slopes protected with vegetative cover, terraces or erosion control blankets?				
General Site Conditions				
Is trash and construction debris properly contained onsite?				
Are porta-potties properly located and maintained?				
Are all vehicles properly maintained to avoid leakage?				
Are all chemicals properly containerized and stored?				
Are concrete washout areas established and maintained?				

Corrective Measures: For all areas needing BMPs or maintenance, describe corrective measures and implementation timeframe?

* Reason for Inspection note: Visual inspections of all cleared and graded areas of the construction site will be performed at a minimum once every 14 days and within 24 hours of the end of a storm with rainfall amounts greater than 0.5 inches. Based on the results of the inspection, necessary control modifications shall be implemented within 7 days. This report shall be kept on file by the General Contractor as part of the Storm Water Pollution Prevention Plan for at least **3 years** from the date of completion and submission of the Notice of Termination.

Certification Statement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Printed Name: _____

Address: _____

Phone: _____

(Authorized Signature ^{**})

Date: _____

****It is the Owners (Permittee) responsibility to insure that the inspector has been properly authorized under the applicable General Permit Regulations to sign these inspection forms.**

RECORD OF SITE STABILIZATION and CONSTRUCTION **ACTIVITY DATES**

A record of dates when stabilization measures are initiated, when major grading activities occur, and when construction activities temporarily or permanently cease on a portion of the site shall be maintained until final site stabilization is achieved and the Notice of Termination is filed. Make additional copies of this form and keep with SWPPP as needed.

MAJOR STABILIZATION AND GRADING ACTIVITIES

Description of
Activity: _____
Site Contractor: _____
Begin (date): _____ End(date): _____
Location: _____

Description of
Activity: _____
Site Contractor: _____
Begin (date): _____ End(date): _____
Location: _____

Description of
Activity: _____
Site Contractor: _____
Begin (date): _____ End(date): _____
Location: _____

Description of
Activity: _____
Site Contractor: _____
Begin (date): _____ End(date): _____
Location: _____

Description of
Activity: _____
Site Contractor: _____
Begin (date): _____ End(date): _____
Location: _____
